



NOTICE OF LAND USE DECISION

Coos County Planning
225 N. Adams St.
Coquille, OR 97423
<http://www.co.coos.or.us/>
Phone: 541-396-7770
Fax: 541-396-1022

This decision notice is required to be sent to the property owner(s), applicant(s), adjacent property owners (distance of notice is determined by zone area – Urban 100 feet, Rural 250 feet, and Resource 750 feet), special taxing districts, agencies with interest, or person that has requested notice. The development is contained within the identified property owners land. Notice is required to be provided pursuant to ORS 215.416. Please read all information carefully as this decision. (See attached vicinity map for the location of the subject property).

NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER: ORS CHAPTER 215 (ORS 215.513) REQUIRES THAT IF YOU RECEIVE THIS NOTICE, IT MUST PROMPTLY BE FORWARDED TO THE PURCHASER.

Date of Notice: **Thursday, August 20, 2020**

File No(s): ACU-20-014

Proposal: Request for a land use authorization for development in a mapped geological hazards area.

Applicant(s)/
Owner(s): Scott and Aimee Hoefs

Staff Planner: Jill Rolfe, Planning Director

Decision: **Approved with Conditions.** All decisions are based on the record. This decision is final and effective at close of the appeal period unless a complete application with the fee is submitted by the Planning Department at 5 p.m. on **Thursday, August 27, 2020**. Appeals are based on the applicable land use criteria. Geological Hazards reviews are subject to Coos County Zoning and Land Development Ordinance (CCZLDO) Sections 4.11.150 *Geological Hazards Special Development Review Standards*, and 4.11.155 *Geological Assessment Review*. **Civil matters including property disputes outside of the criteria listed in this notice will not be considered. For more information please contact the staff planner listed in this notice.**

Property Information

Account Numbers	179012
Map Numbers	24S132400-00302
Property Owners	HOEFS, SCOTT W. & AIMEE E. 67398 N BAY RD NORTH BEND, OR 97459-8514
Situs Addresses	67398 NORTH BAY RD NORTH BEND, OR 97459
Acreages	5.00 Acres
Zonings	COOS BAY ESTUARY MNGMT PLAN (CBEMP) NATURAL AQUATIC (11-NA) RURAL RESIDENTIAL - 5 (RR-5)
Special Development Considerations and Overlays	FLOODPLAIN (FP) NATIONAL WETLAND INVENTORY SITE (NWI) NATURAL HAZARD - EARTHQUAKE - LIQUEFACTION (NHEQL) NATURAL HAZARD - TSUNAMI (NHTHO)

This notice shall be posted from August 20, 2020 to September 3, 2020

The purpose of this notice is to inform you about the proposal and decision, where you may receive more information, and the requirements if you wish to appeal the decision by the Director to the Coos County Hearings Body. Any person who is adversely affected or aggrieved or who is entitled to written notice may appeal the decision by filing a written appeal in the manner and within the time period as provided below pursuant to Coos County Zoning and Land Development Ordinance (CCZLDO) Article 5.8. If you are mailing any documents to the Coos County Planning Department the address is 250 N. Baxter, Coquille OR 97423. Mailing of this notice to you precludes an appeal directly to the Land Use Board of Appeals.

Mailed notices to owners of real property required by ORS 215 shall be deemed given to those owners named in an affidavit of mailing executed by the person designated by the governing body of a county to mail the notices. The failure of the governing body of a county to cause a notice to be mailed to an owner of a lot or parcel of property created or that has changed ownership since the last complete tax assessment roll was prepared shall not invalidate an ordinance.

Staff tries to post all applications on the website at the following link:<http://www.co.coos.or.us/Departments/Planning/PlanningDepartment-Applications2020.aspx>.

The application and all documents and evidence contained in the record, including the staff report and the applicable criteria, are available for inspection, at no cost, in the Planning Department located at 225 North Adams Street, Coquille, Oregon. Copies may be purchased at a cost of 50 cents per page. The decision is based on the application submittal and information on record. The name of the Coos County Planning Department representative to contact is Jill Rolfe, Planning Director and the telephone number where more information can be obtained is (541) 396-7770.

Failure of an issue to be raised in a hearing, in person or in writing, or failure to provide statements of evidence sufficient to afford the Approval Authority an opportunity to respond to the issue precludes raising the issue in an appeal to the Land Use Board of Appeals.

Reviewed by: Jill Rolfe
Jill Rolfe, Planning Director

Date: Thursday, August 20, 2020 .

This decision is authorized by the Coos County Planning Director, Jill Rolfe based on the staff's analysis of the Findings of Fact, Conclusions, Conditions of approval, Application and all evidence associated as listed in the exhibits.

EXHIBITS

Exhibit A: Conditions of Approval

Exhibit B: Vicinity Map

The Exhibits below are mailed to the Applicant. Emailed copies of the exhibits are provide to the Board of Commissioners, Planning Commission and Department of Land Conservation and Development. Copies are available upon request or at the following by contacting the Planning Department or may be viewed on the website:

<http://www.co.coos.or.us/Departments/Planning/PlanningDepartment-Applications2020.aspx> ; however if not found on the webpage please contact staff for further instructions on viewing the official record in this matter as the website is not the official record. If you have any questions please contact staff at (541) 396-7770.

Exhibit C: Staff Report -**Findings of Fact and Conclusions**

Exhibit D: Application and Geotechnical Reports

EXHIBIT “A”
CONDITIONS OF APPROVAL

The applicant shall comply with the following conditions of approval with the understanding that all costs associated with complying with the conditions are the responsibility of the applicants and that the applicants are not acting as an agent of the county. If the applicant fails to comply or maintain compliance with the conditions of approval the permit may be revoked as allowed by the Coos County Zoning and Land Development Ordinance. Please read the following conditions of approval and if you have any questions contact planning staff.

1. Hazard Disclosure Statement: All applications for new development or substantial improvements subject to Geologic Assessment Review shall provide a Hazard Disclosure Statement signed by the property owner that acknowledges:
 - a. The property is subject to potential natural hazards and that development thereon is subject to risk of damage from such hazards;
 - b. The property owner has commissioned an engineering geologic report for the subject property, a copy of which is on file with Coos County Planning Department, and that the property owner has reviewed the engineering geologic report and has thus been informed and is aware of the type and extent of hazards present and the risks associated with development on the subject property;
 - c. The property owner accepts and assumes all risks of damage from natural hazards associated with the development of the subject property.
2. Shall comply with comments once received from Oregon Department of State Lands.
3. Because on-site structural mitigation measures are required as a condition of approval, the applicant shall, prior to the issuance of a zoning compliance letter, record on the title to the subject property a notification that includes a description of the measures or improvements and that also specifies the obligation of the property owners to refrain from interfering with such measures or improvements and to maintain them.
4. Certification of compliance: Permitted development shall comply with the recommendations in the required engineering geologic report. Certification of compliance shall be provided to the director by the applicant as follows:
 - a. Plan Review Compliance: Building, construction or other development plans shall be accompanied by a written statement from a certified engineering geologist stating that the plans comply with the recommendations contained in the engineering geologic report for the approved Geological Assessment Review.
 - b. Inspection Compliance: Upon the completion of any development activity for which the engineering geologic report recommends an inspection or observation by a certified engineering geologist, the applicant shall provide to the director a written statement from the certified engineering geologist indicating that the development activity has been completed in accordance with the applicable engineering geologic report recommendations.
 - c. Final Compliance: Upon completion of development requiring an engineering geologic report, the applicant shall submit to the director:
 - i. A written statement by a certified engineering geologist indicating that all performance, mitigation, and monitoring measures specified in the report have been satisfied; and,
 - ii. If mitigation measures incorporate engineering solutions designed by a licensed professional engineer, a written statement of compliance by the design engineer.
 - iii. This shall be completed prior to the final building inspections or occupancy permit. Once this is received a final compliance letter will be issued.

EXHIBIT "B"
VICINITY MAP



COOS COUNTY PLANNING DEPARTMENT

Mailing Address: 250 N. Baxter, Coos County Courthouse, Coquille, Oregon 97423

Physical Address: 225 N. Adams, Coquille Oregon




Phone: (541) 396-7770

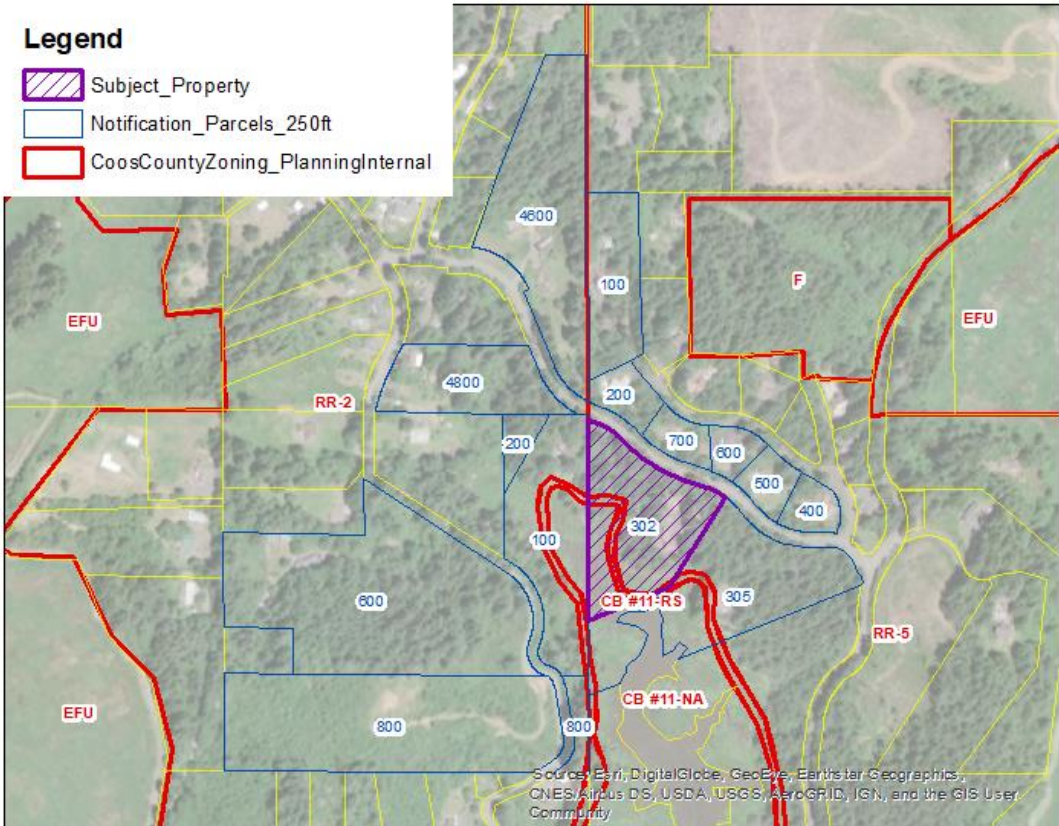
Fax: (541) 396-1022/TDD (800) 735-2900



File:	ACU-20-014
Applicant/ Owner:	Scott Hoefs/ Scott & Aimee Hoefs
Date:	August 12, 2020
Location:	Township 24S Range 13W Section 24 TL 302
Proposal:	Administrative Conditional Use

Legend

-  Subject_Property
-  Notification_Parcels_250ft
-  CoosCountyZoning_PlanningInternal



150 days once an application has been deemed complete to receive a final decision. Staff turn around time since the application was deemed complete is 39 days. Average time is between 42 to 56 days.

II. BASIC FINDINGS:

- A. LOCATION:** The subject property is located northeast of the City of North Bend. The property is accessed off North Bay Road.
- B. ZONING:** - The property is zoned Rural Residential-5 (RR-5) and Coos Bay Estuary Management Plan. The proposed development will be sited in the Rural Residential-5 portion of the property only.

ARTICLE 4.2 – ZONING PURPOSE AND INTENT

Section 4.2.100 Residential

Rural Residential (RR) There are two RR zonings: Rural Residential-5 (RR-5) and Rural Residential-2 (RR-2). The intent of the Rural Residential Districts includes justified sites plus "committed" areas. The County's plan prescribes and allocates a finite number of rural dwelling/units/acreage. The zoning ordinance will specify permitted uses and minimum lot sizes.

The purpose of the "RR-2" and "RR-5" districts are to provide for small to medium acreage dwelling sites outside of Urban Growth Boundaries, where a moderate intensity of land development is appropriate, but where urban services and facilities may not be available or necessary.

The "RR-5" district provides for the orderly development of rural land so as to encourage the continued existence of rural family life and to provide a transition of densities between urban development and exclusive agricultural or forestry uses.

C. SPEICAL DEVELOPMENT CONSIDERATIONS AND OVERALYS:

SECTION 4.11.125 Special Development Considerations: The considerations are map overlays that show areas of concern such as hazards or protected sites. Each development consideration may further restrict a use. Development considerations play a very important role in determining where development should be allowed In the Balance of County zoning. The adopted plan maps and overlay maps have to be examined in order to determine how the inventory applies to the specific site

SECTION 4.11.200 Purpose: Overlay zones may be super-imposed over the primary zoning district and will either add further requirements or replace certain requirements of the underlying zoning district. The requirements of an overlay zone are fully described in the text of the overlay zone designations. An overlay zone is applicable to all Balance of County Zoning Districts and any zoning districts located within the Coos Bay Estuary Management Plans when the Estuary Policies directly reference this section.

This property is within the Very Hight Liquefaction Potential, mapped in the National Wetland Inventory and contains flood hazard but the development is only located in the Very Hight Liquefaction which is the subject of this review.

D. SITE DESCRIPTION AND SURROUNDING USES:

The property is in the Rural Residential-5 (RR-5) and Coos Bay Estuary Management Plan Zone. The subject property is tax lot 302 and is assessed as five (5) acres.

The subject property is bordered by North Bay Road along the northern property boundary and Hanes Inlet to the south. The property is sloped from north to south and covered with tree vegetation with a cleared area in the eastern half of the property where the development is located.



E. COMMENTS:

- a. **PUBLIC AGENCY:** There was a request for comments provided to Oregon Department of State Lands. A response has not been received as of the date of this decision; however, the applicants and/or contractor(s) shall comply with the recommendations set forth in the comments once received.
- b. **PUBLIC COMMENTS:** there were no public comments received.
- c. **LOCAL TRIBE COMMENTS:** This property did not require any request for comments from either of the local tribes prior to release of the decision.

F. LAWFULLY CREATED UNIT OF LAND: This property was determined to be lawfully created as it was created through a partition in 1980.

III. STAFF FINDINGS AND CONCLUSIONS:

a. SUMMARY OF PROPOSAL AND APPLICABLE REVIEW CRITERIA:

The proposal is for Planning Director Approval for an Accessory Structure within the Very High Liquefaction Potential. This requires a geological hazard review.

b. Key definitions:

ACTIVITY: Any action taken either in conjunction with a use or to make a use possible. Activities do not in and of themselves result in a specific use. Several activities such as dredging, piling and fill may be undertaken for a single use such as a port facility. Most activities may take place in conjunction with a variety of uses.

DEVELOP: To bring about growth or availability; to construct or alter a structure, to conduct a mining operation, to make a physical change in the use or appearance of land, to divide land into parcels, or to create or terminate rights to access.

DEVELOPMENT: The act, process or result of developing.

USE: The end to which a land or water area is ultimately employed. A use often involves the placement of structures or facilities for industry, commerce, habitation, or recreation.

ZONING DISTRICT: A zoning designation in this Ordinance text and delineated on the zoning maps, in which requirements for the use of land or buildings and development standards are prescribed.

c. Criteria and standards for Property Line Adjustments

I. Accessory Use or Structure

#	Use	Zones													Subject To
		UR-1	UR-2	UR-M	RR-2	RR-5	CD	RC	C-1	IND	AO	REC	SS	MES	
Residential Uses – This category is for uses and structure for human occupancy as living quarters															
18.	Accessory Uses and Structures to permitted residential	CD	CD	CD	CD	CD	CD	CD	CD	CD	CD	CD	CD	CD	(1)

Section 4.3.210 – CATEGORIES and review standards

The following categories provide a definition and specific standards that will regulate the Development, Use or Activity identified in the table above.

- (1) Accessory structures and uses – shall be subordinate to any authorized primary use. Accessory structures shall meet the applicable Development and Siting Criteria or Special Development Considerations and Overlays for the zoning district in which the structure will be sited.*

Section 4.3.225 General Siting Standards

All new USES, activities and development are subject to the following siting standards:

- (1) Agricultural and Forest Covenant - Any applicant for a dwelling permit adjacent to a Forest or Exclusive Farm Zone shall sign a statement on the Compliance Determination or Zoning Clearance Letter acknowledging that: “the normal intensive management practices occurring on adjacent resource land will not conflict with the rural residential landowner’s enjoyment of his or her property.*
- (2) Fences, Hedges, and Walls: No requirement, but vision clearance provisions of Section 7.1.525 apply.*
- (3) Limitation on uses of manufactured dwellings/structures for commercial purposes pursuant to ORS 466 et seq. Manufactured dwellings shall not be used for commercial purposes except:

 - (a) Where use of the manufactured dwelling for commercial purposes is authorized by the Building Codes Agency.*
 - (b) Where used as a temporary sales office for manufactured structures; or*
 - (c) As part of an approved home occupation. [OR-92-07-012PL]**
- (4) New lots or parcels - Creation of lots or parcels, unless it meets the circumstances of § 5.6.130, shall meet the street frontage, lot width, lot depth and lot size. Minimum road frontage/lot width shall be met unless waived by the Planning Director in consultation with the County Surveyor and County Roadmaster due to creating an unsafe or irregular configuration:

 - (a) Minimum Street frontage should be at least 30 feet; and*
 - (b) Minimum lot width and Minimum lot depth is 50 feet.**

Minimum parcel/lot size cannot be waived or varied unless otherwise provided by a specific zoning regulation. Tax lot creation and consolidations do not change the legally created status of a lot or parcel.

- (5) Parking - Off-street access, parking and loading requirements per Chapter VII apply.*

(6) *Riparian* -

- (a) *Riparian vegetation setback within 50 feet of a estuarine wetland, stream, lake or river, as identified on the Coastal Shoreland and Fish and Wildlife habitat inventory maps, shall be maintained except:*
- i. *Trees certified as posing an erosion or safety hazard. Property owner is responsible for ensuring compliance with all local, state and federal agencies for the removal of the tree.*
 - ii. *Riparian vegetation may be removed to provide direct access for a water-dependent use if it is a listed permitted within the zoning district;*
 - iii. *Riparian vegetation may be removed in order to allow establishment of authorized structural shoreline stabilization measures;*
 - iv. *Riparian vegetation may be removed to facilitate stream or stream bank clearance projects under a port district, ODFW, BLM, Soil & Water Conservation District, or USFS stream enhancement plan;*
 - v. *Riparian vegetation may be removed in order to site or properly maintain public utilities and road right-of-ways;*
 - vi. *Riparian vegetation may be removed in conjunction with existing agricultural operations (e.g., to site or maintain irrigation pumps, to limit encroaching brush, to allow harvesting farm crops customarily grown within riparian corridors, etc.) provided that such vegetation removal does not encroach further into the vegetation buffer except as needed to provide an access to the water to site or maintain irrigation pumps; or*
 - vii. *The 50 foot riparian vegetation setback shall not apply in any instance where an existing structure was lawfully established and an addition or alteration to said structure is to be sited not closer to the estuarine wetland, stream, lake, or river than the existing structure and said addition or alteration is not more than 100% of the size of the existing structure's "footprint".*
- (b) *Riparian removal within the Coastal Shoreland Boundary requires an Administrative Conditional Use application and review. See Special Development Considerations Coastal Shoreland Boundary.*
- (c) *The 50' measurement shall be taken from the closest point of the ordinary high water mark to the structure using a right angle from the ordinary high water mark.*

(7) *Setbacks:*

- (a) *All buildings or structures with the exception of fences shall be set back a minimum of thirty-five (35) feet from any road right-of-way centerline, or five (5) feet from the right-of-way line, whichever is greater. This setback may be greater under specific zoning siting requirements.*
- (b) *Firebreak Setback - New or replacement dwellings on lots, parcels or tracts abutting the "Forest" zone shall establish and maintain a firebreak, for a distance of at least 30 feet in all directions. Vegetation within this firebreak may include mowed grasses, low shrubs (less than ground floor window height), and trees that are spaced with more than 15 feet between the crowns and pruned to remove dead and low (less than 8 feet from the ground) branches. Accumulated needles, limbs and other dead vegetation should be removed from beneath trees.*
- (8) **OUTDOOR STORAGE IN RESIDENTIAL ZONES** (a) *Boats and trailers, travel trailers, pick-up campers or coaches, motorized dwellings, and similar recreation equipment may be stored on a lot but not used as an accessory use; (b) Automotive vehicles or trailers of any kind or type without current license plates, where required, and which are not in mechanical working order, shall not be parked or stored on any residentially zoned property other than in completely enclosed buildings; (c) One operating truck may be stored on the lot of a truck driver provided it is accessory to the main use of the property. Additional trucks shall not be allowed.*

Section 4.3.230 ADDITIONAL SITING STANDARDS

This section has specific siting standards and criteria set by the zoning district for USES, activities and development:

- (2) **Rural Residential (RR)** – *The following siting standards apply to all USES, activities and development in the RR zoning districts:*

- a. *Minimum Lot/Parcel Size:*
 - i. *5 acres in the RR-5 district*
 - ii. *2 acres in the RR-2 district*
 - iii. *Exception to minimum lot sizes in Rural Residential:*
 1. *Smaller parcels may be permitted in an approved residential planned unit development, provided the allowable density of the parent parcel is not exceeded.*
 2. *Any lawfully created parcel or lot created prior to January 1, 1986 that is equal to or greater than one acre. Multiple parcels or lots may be combined to equal one acre but then a restriction shall be placed on the deed and parcels and/or lots shall be combined into one tax lot.*
 3. *Any lawfully created parcel or lot created prior to January 1, 1986 that does not equal one acre and not served by a public sewer then Department of Environmental Quality, State Building Codes and Oregon Department of Water Resources should be consulted by the developer prior to seeking a land use authorization to construct a dwelling as there may be development limitations.*
 4. *Creation of parcels less than the minimum lot size of the zoning district shall be permitted provided the following circumstances exist:*
 - a. *The subject property is not zoned for resource use;*
 - b. *An existing dwelling (lawfully established, but not for temporary purposes) was sited prior to January 1, 1986, and will remain sited on each proposed parcel; and*
 - c. *A land division is submitted and approved by Coos County pursuant to the current standards with the exception on the minimum parcels size.*
- b. *Setbacks – No additional setback requirements.*
- c. *Building Height – No additional Requirements.*
- d. *Density or Size limits -*
 - i. *Dwelling density shall be no more than one dwelling per lawfully created parcel unless otherwise provided for by this ordinance.*
 - ii. *If lawfully created parcels are less than one acre in size and not served by a public sewer then Department of Environmental Quality, State Building Codes and Oregon Department of Water Resources should be consulted by the developer prior to seeking a land use authorization to construct a dwelling as there may be development limitations.*

Staff Findings: Based on the site plan provided and findings to the criteria the dwelling will be located to comply with all setbacks and development criteria. The applicant has addressed all relevant criteria for an *Accessory Structure* in the *Rural Residential-5 Zone*. See attached application. The property is subject to *Special Development Considerations*.

II. Coos County has inventoried the following *hazards*:

- *Flood Hazard*
 - *Riverine flooding*
 - *Coastal flooding*
- *Landslides and Earthquakes*
 - *Landslide Susceptibility*
 - *Liquefaction potential*
- *Tsunamis*
- *Erosion*
 - *Riverine streambank erosion*
 - *Coastal*
 - *Shoreline and headlands*
 - *Wind*

- *Wildfire*

Purpose Statements:

Coos County shall regulate development in known areas potentially subject to natural disasters and hazards, so as to minimize possible risks to life and property. Coos County considers natural disasters and hazards to include river and coastal flooding, landslides, liquefaction potential due to earthquakes, fault lines, tsunamis, river bank erosion, coastal erosion along shorelines and headlands, coastal erosion due to wind, and wildfires, including those areas affected by gorse.

*This strategy shall be implemented by enacting special protective measures through zoning and other implementing devices, designed to minimize risks to life and property associated with new development and substantial improvements. The determination of whether a property is located in one of the above referenced potentially hazardous areas shall be made by the reviewing body (Planning Director, Planning Commission, Board of Commissioners, or any designee based upon adopted inventory mapping). A specific site may not include the characteristics for which it is mapped. In these circumstances staff shall apply §4.11.132.ii.2.m. ****

b. Landslides and Earthquakes

Landslides: Coos County shall promote protection to life and property in areas potentially subject to landslides. New development or substantial improvements proposed in such areas shall be subject to geologic assessment review in accordance with section 4.11.150. Potential landslide areas subject to geologic assessment review shall include all lands partially or completely within “very high” landslide susceptibility areas as mapped in DOGAMI Open File Report O-16-02, “Landslide susceptibility map of Oregon.”

Earthquakes: Coos County shall promote protection of life and property in areas potentially subject to earthquake hazards. New development or substantial improvements in mapped areas identified as potentially subject to earthquake induced liquefaction shall be subject to a geologic assessment review as set out in this section. Such areas shall include lands subject to “very high” and “high” liquefaction identified in DOGAMI Open File Report O-13-06, “Ground motion, ground deformation, tsunami inundation, co-seismic subsidence, and damage potential maps for the 2012 Oregon Resilience Plan for Cascadia Subduction Zone Earthquakes.”

Coos County shall continue to support Oregon State Building Codes to enforce any structural requirements related to landslide and earthquakes. Staff will notify Oregon State Building Codes by providing a copy of the geologic assessment report with the Zoning Compliance Letter.

- c. Tsunamis: Coos County shall promote increased resilience to a potentially catastrophic Cascadia Subduction Zone (CSZ) tsunami through the establishment of a Tsunami Hazard Overlay Zone (THO) in the Balance of County Zoning. See Sections 4.11.260-4.11.270 for the requirements of this overlay zone.*
- d. Reserved.*
- e. Erosion: Coos County shall promote protection of property from risks associated with shoreline, headland, and wind erosion and deposition hazards.*

Coos County shall promote protection of property from risks associated with bank erosion along rivers and streams through necessary erosion-control and stabilization measures, preferring non-structural solutions when practical.

Any proposed structural development within a wind erosion/deposition area, within 100 feet of a designated bank erosion area, or on a parcel subject to wave attack, including all oceanfront lots, will be subject to a geologic assessment review as set out in Section 4.11.150. There is a setback of 100 feet from any rivers or streams that have been inventoried in the erosion layer. If a variance is requested, a geologic assessment will be required.

Staff Findings: The property is subject to the Natural Hazards and in response has submitted a conditional use to address the hazards. The Geological Assessment is addressed under the next section. The Applicant has complied by submitting the appropriate applications.

III. GEOLOGICAL HAZARDS SPECIAL DEVELOPMENT REVIEW STANDARDS

Section 4.11.150 Geological Hazards special development Review Standards

Applications for a geologic hazard review may be made concurrently with any other type of application required for the proposed use or activity. A review of the property must be conducted prior to any ground disturbance. All geologic hazard assessment reports shall include a description of the qualification of the licensed professional or professionals that prepared the assessment.

The applicant shall present a geologic hazard assessment report (geologic assessment) prepared by a qualified licensed professional competent in the practice of geosciences, at the applicant's expense, that identifies site specific geologic hazards, associated levels of risk, and the suitability of the site for the use and/or activity in view of such hazards. The geologic assessment shall include the required elements of this section and one of the following:

- a. A statement that the use and/or activity can be accomplished without measures to mitigate or control the risk of geologic hazard to the subject property resulting from the proposed use and/or activity;
- b. A statement that there is an elevated risk posed to the subject property by geologic hazards that requires mitigation measures in order for the use and/or activity to be undertaken safely sited on the property; or
- c. A certification that there are no high or very high geological hazards present on site. If such is certified by a licensed profession then an application is not required. Coos County is not liable for any type of certification that a geological hazard is not present on site.

Section 4.11.155 Geological Assessment review

Geologic Assessment Review: The applicant(s) shall complete the following review to determine compliance with this section. This type of review requires a conditional use application and shall follow the administrative procedures for conditional uses found in Article 5 of the CCZLDO.

1. Except for activities identified in Subsection 2 of this section, as exempt, any new development or substantial improvement in an area subject to the provisions of this section shall require a Geologic Assessment Review.
2. The following development activities are exempt from the requirement for a Geologic Assessment Review:
 - a. Maintenance, repair, or alterations to existing structures that do not alter the building footprint or foundation and do not constitute substantial improvement as defined in Chapter II.
 - b. An excavation and/or fill which is less than two feet in depth, or which involves less than twenty-five cubic yards of volume;
 - c. Exploratory excavations under the direction of a certified engineering geologist or registered geotechnical engineer;
 - d. Construction of structures for which a building permit is not required;
 - e. Yard area vegetation maintenance and other vegetation removal on slopes less than 25%;
 - f. Forest operations subject to regulation under ORS 527 (the Oregon Forest Practices Act);
 - g. Maintenance and reconstruction of public and private roads, streets, parking lots, driveways, and utility lines, provided the work does not extend outside of the previously

- disturbed area;
 - h. Maintenance and repair of utility lines, and the installation of individual utility service connections;
 - i. Emergency response activities intended to reduce or eliminate an immediate danger to life, property, or flood or fire hazard;
 - j. Construction/erection of beachfront protective structures subject to regulation by the Oregon Parks and Recreation Department under OAR 736, Division 20; and
 - k. Any development or activity to be conducted on a site for which a certified engineering geologist has determined that there are no high or very high geologic hazards present. Coos County is not liable for any type of certification that a geologic hazard is not present on site.
3. Application, review and appeals for a Geologic Assessment Review shall be in accordance with the requirements for administrative conditional use review as set forth in Article 5.2. Applications for a Geologic Assessment Review may be made prior to or concurrently with any other type of application required for the proposed use or activity. Geologic Assessment Review shall be completed prior to any ground disturbance.
 4. All applications for Geologic Assessment Review shall be accompanied by an engineering geologic report prepared by a certified engineering geologist at the applicant's expense.

A. ENGINEERING GEOLOGIC REPORTS

1. Engineering geologic reports required pursuant to this section shall be prepared by a certified engineering geologist licensed in the State of Oregon. Such reports shall be prepared consistent with standard geologic practices and employing generally accepted scientific and engineering principles. The content of such reports shall be generally consistent with the applicable provisions of "Guideline for Preparing Engineering Geologic Reports," 2nd Edition, 5/30/2014, published by the Oregon Board of Geologist Examiners.
2. Properties abutting the ocean shore that are located in a mapped regulated hazard area shall include the following additional information :
 - a. Site description:
 - i. The geological history and stabilization measures of the site including any previous riprap or dune grading, erosion events, or exposed trees on the beach.
 - ii. Topography, including elevations and slopes on the property itself.
 - iii. Vegetation cover.
 - iv. Subsurface materials – the nature of the rocks and soils.
 - v. Conditions of the seaward front of the property, particularly for sites having a sea cliff.
 - vi. Description of streams or other drainage that might influence erosion or locally reduce the level of the beach.
 - vii. If the site is located on or adjacent to a estuarine water body or Coastal Lake including the Coastal Shoreland Boundary the following additional information shall be included:
 1. Presence of drift logs or other flotsam on or within the property.
 2. Proximity of nearby headlands that might block the longshore movement of beach sediments, thereby affecting the level of the beach in front of the property.
 3. Description of any shore protection structures that may exist on the property or on nearby properties.
 4. Presence of pathways or stairs from the property to the beach.
 5. Existing development including modification of soil or vegetation on the site, particularly any which might alter the resistance to wave attack.
 6. Average widths of the beach during the summer and winter.
 7. Median grain size of beach sediment.
 8. Average beach slopes during the summer and winter.
 9. Elevations above mean sea level of the beach at the seaward edge of the

- property during summer and winter.
10. Presence of rip currents and rip embayments that can locally reduce the elevation of the fronting beach.
 11. Presence of rock outcrops and sea stacks, either offshore or within the beach zone.
 12. Information regarding the depth of beach sand down to bedrock at the seaward edge of the property.
- b. Analyses of Erosion and Flooding Potential on the site:
- i. Analysis of DOGAMI beach monitoring data for the site (if available,) all activities affecting shoreline erosion and possible mass wasting, including weathering processes, land sliding or slumping.
 - ii. Calculation of wave run-up beyond mean water elevation that might result in erosion of the sea cliff or foredune (see Stockdon, 2006).¹
 - iii. Evaluation of frequency that erosion-inducing processes could occur, considering the most extreme potential conditions of unusually high water levels together with severe storm wave energy.
 - iv. For areas subject to dune-backed shorelines, use an established geometric model to assess the potential distance of property erosion, and compare the results with direct evidence obtained during site visits, aerial photo analysis, or analysis of DOGAMI beach monitoring data.
 - v. For bluff-backed shorelines, use a combination of published reports, such as DOGAMI bluff and dune hazard risk zone studies, aerial photo analysis, and fieldwork to assess the potential distance of property erosion.
 - vi. Description of potential for sea level rise, estimated for local area by combining local tectonic subsidence or uplift with global rates of predicted sea level rise.
- c. Determination of legal restrictions of shoreline protective structures (Goal 18 prohibition, local conditional use requirements, priority for non-structural erosion control methods).
- d. Assessment of potential reactions to erosion events, addressing the need for future erosion control measures, building relocation, or building foundation and utility repairs.
- e. The assessment should include recommendations:
- i. Use results from the above analyses to establish setbacks (beyond any minimums set by this section or the underlying zone), building techniques, or other mitigation measures to ensure an acceptable level of safety and compliance with all local requirements.
 - ii. Recommend a foundation design, or designs, that render the proposed structures readily moveable.
 - iii. Recommend a plan for preservation of vegetation and existing grade within the setback area, if appropriate.
 - iv. Include consideration of a local variance process to reduce the building setback on the side of the property opposite the ocean, if this reduction helps to lessen the risk of erosion, bluff failure or other hazard.
 - v. Recommend methods to control and direct water drainage away from the ocean (e.g. to an approved storm water system); or, if not possible, to direct water in such a way so as to not cause erosion or visual impacts.
3. Engineering geologic reports required by this section shall include a statement from the preparer of the report that all of the applicable content requirements of this subsection have been addressed or are not applicable to the review.

¹ Stockdon, H. F., Holman, R. A., Howd, P. A. and Sallenger, A. H., 2006, Empirical parameterization of setup, swash, and runup: Coastal Engineering, 53, p 573-588.

4. Engineering geologic reports required by this section shall be valid for a period of five years from the date of preparation of such report. No extensions to this time line shall be granted.

B. DECISIONS ON GEOLOGICAL ASSESSMENT REVIEWS

A decision on a Geologic Assessment Review shall be based on the following standards:

1. The engineering geologic report shall meet the content standards set forth in within this Section.
2. In approving a Geologic Assessment Review, the decision maker may impose any conditions which are necessary to ensure compliance with the provisions of this section or with any other applicable provisions of the Coos County Zoning and Land Development Ordinance.
3. In the event the decision maker determines that additional review of the engineering geologic report by an appropriately licensed and/or certified professional is necessary to determine compliance with this section, Coos County may retain the services of such a professional for this purpose. The applicant shall be responsible for all costs associated with the additional review. The results of that evaluation shall be considered in making a decision on the Geologic Assessment Review.

C. DEVELOPMENT STANDARDS FOR USES SUBJECT TO GEOLOGIC ASSESSMENT REVIEW

In addition to the conditions, requirements and limitations imposed by a required engineering geologic report, all uses subject to a geologic assessment review shall conform to the following requirements:

1. Historical, Cultural, and Archaeological Resources: All activities and uses subject to Geologic Assessment Reviews proposed for areas of historical, cultural, or archaeologically sensitive areas, as identified on the Coos County Comprehensive Plan Map, shall require consultation with the appropriate local Tribe prior to the commencement of any and all ground disturbing activity. Proof of this consultation shall be provided as a part of application submission.
2. Hazard Disclosure Statement: All applications for new development or substantial improvements subject to Geologic Assessment Review shall provide a Hazard Disclosure Statement signed by the property owner that acknowledges:
 - d. The property is subject to potential natural hazards and that development thereon is subject to risk of damage from such hazards;
 - e. The property owner has commissioned an engineering geologic report for the subject property, a copy of which is on file with Coos County Planning Department, and that the property owner has reviewed the engineering geologic report and has thus been informed and is aware of the type and extent of hazards present and the risks associated with development on the subject property;
 - f. The property owner accepts and assumes all risks of damage from natural hazards associated with the development of the subject property.
3. Mitigation measures: If on-site structural mitigation measures are required as a condition of approval, the applicant shall, prior to the issuance of a zoning compliance letter, record on the title to the subject property a notification that includes a description of the measures or improvements and that also specifies the obligation of the property owners to refrain from interfering with such measures or improvements and to maintain them.
4. Safest site requirement: All new structures shall be located within the area most suitable for development based on the least exposure to risk from hazards as determined by an engineering geologist as part of an engineering geologic report prepared in accordance with Section 4.11.150 through 4.11.155. Notwithstanding the provisions of the underlying zone, as necessary to comply with this requirement, any required yard or setback may be reduced by up to 50% without a variance.
5. Certification of compliance: Permitted development shall comply with the recommendations in the required engineering geologic report. Certification of compliance shall be provided to the director by the applicant as follows:
 - d. Plan Review Compliance: Building, construction or other development plans shall be accompanied by a written statement from a certified engineering geologist stating that the plans comply with the recommendations contained in the engineering geologic report for the approved Geological Assessment Review.

- e. Inspection Compliance: Upon the completion of any development activity for which the engineering geologic report recommends an inspection or observation by a certified engineering geologist, the applicant shall provide to the director a written statement from the certified engineering geologist indicating that the development activity has been completed in accordance with the applicable engineering geologic report recommendations.
- f. Final Compliance: Upon completion of development requiring an engineering geologic report, the applicant shall submit to the director:
 - iv. A written statement by a certified engineering geologist indicating that all performance, mitigation, and monitoring measures specified in the report have been satisfied; and,
 - v. If mitigation measures incorporate engineering solutions designed by a licensed professional engineer, a written statement of compliance by the design engineer.

Staff Findings: The applicant submitted a report from Eric Oberbeck, Certified Engineering Geologist, Cascadia Geoservices dated May 21, 2020.

The report outlines the property conditions and recommendations. The report explains the understanding of the project along with safest site recommendations. Based on the following information provide by Mr. Overbeck regarding the site and recommendations the development can conditionally be permitted. The conditions of approval shall be complied with as part of this review.

Mr. Overbeck stated the following:

Our understanding is based on our correspondence with you beginning on April 1, 2020, at which time you provided us with a site plan submitted by you to Coos County as part of the permitting process, and on an email to you from Coos County, dated March 30, 2020. Our understanding is further based on a site visit on April 6, 2020. We understand that you are proposing to build a 30-by-36-foot, wood-framed shop structure supported on a cement floor. Based on the Coos County Zoning and Hazard Map,¹ the site is in an area where the soils have a high liquefaction potential. Because of this, Coos County is requiring that, prior to issuing you a building permit, you obtain a geotechnical site evaluation from a licensed engineering geologist. We further understand that the shop will be used for storage and will not be used as a residence. As of the date of this project, no construction drawings have been submitted to CGS for review. This report summarizes our project understanding and site investigation, including subsurface

explorations, and provides our conclusions and recommendations for developing the site.

SURFACE DESCRIPTION

The site (see Figure 2, Site Map) is a level cut pad and measures 23 feet wide (measured east to west) by 45 feet long (measured north to south). It is located 70 feet north of your residence and at the same elevation of 35 feet above mean sea level (AMSL). The cut pad is bordered to the north and east by partially graded slopes. North of the site, the slope ranges in inclination from 35 to 60% and is traversed by an older cut and by North Bay Road which is 90 feet above the site. The slope to the east grades 36% to the south and provides the access driveway to the site. The site is bordered on the west by a moderate slope which descends at a grade of 60%, for a distance of 10 to 15 feet. This slope is the upper part of an unnamed, south-flowing seasonal drainage swale which is a tributary to Palouse Creek and Haynes Inlet. There was no observed flow within the drainage at the time of our site visit in April. Based on aerial photographs, the drainage swale is tidally influenced 220 feet west of the site.

Based on mapping done by others,^{2,3} soils at the site are classified as silty clay loam (26D—Geisel silt loam, 12 to 30 percent slopes). These soils are described as well drained and are derived from colluvium and weathered sedimentary rock. These overlie bedrock of the Eocene Flourney Formation which consists of rhythmically bedded sandstone and siltstone.

Outcrop exposed at the toe of the slope both north and east of the proposed shop building (Photo 1) exposes medium-stiff-to-stiff (0.5 to 1.5 tsf⁴) clayey silts. Based on mapping done by others,³ we infer that these soils are decomposed bedrock siltstone. The siltstone maintains a near-vertical cut slope with only minor sloughing (Photo 2). Decomposition of sedimentary layers prohibits determination of the orientation of the bedding.

Based on our review of water-well cards for wells in the area, the primary aquifer is over 100 feet deep. The site appears well drained with no springs, seeps, or hydric plants observed.

Based on our site visit, the site appeared stable with no visible sloughing, ground cracks, fresh earthen scarps, or areas of settlement observed. Further, the site appeared well drained.

areas within the state, the State has recently updated its Oregon Structural Specialty Code⁷ (OSSC 2019). It is our opinion that new structures such as you are proposing for this site should adopt, where applicable, these updated standards.

Tsunamis

Based on recent mapping and modeling done by the State of Oregon,⁸ the site is not within the Tsunami Inundation Zone. Tsunamis may however impact regional low-lying areas and access roads to the site. As such, we recommend that you check local resources and the State of Oregon's Department of Geology and Mineral Industries (DOGAMI) Tsunami Resource Center for current information regarding tsunami preparedness and emergency procedures.

DISCUSSION AND RECOMMENDATIONS

Feasibility

It is our opinion that the site is stable and thus suitable for siting the proposed shop, provided it is prepared in accordance with our recommendations.

As discussed, based on the consistency of the soils encountered at the site and the inferred depth to groundwater, it is our opinion that soils on the site have a low-to-moderate liquefaction potential and, as such, do not pose a serious liquefaction hazard.

The slopes both north and east of the building pad are currently stable and, as such, should not be steepened. Minor excavation at the toe of the slope can be done, provided it does not exceed a 4-foot-high vertical cut. We recommend a minimum setback of 10 feet from the toe of the ascending slope north of the building site, and a 5-foot setback from the toe of the slope to the east of the site. In addition, we recommend a minimum setback of 10 feet from the break-in-slope of the descending slope west of the site.

The existing cat cut, which traverses the slope north of the site, should be graded to create a water diversion terrace. Runoff should be directed away from the slope above

the building pad. In addition, the building pad should be graded to provide positive drainage away from the structure.

We believe the existing cut subgrade is suitable to site the shop building. Prior to construction, remove the upper 3 to 4 inches of sod, organics, and loose surface debris from the building footprint and for a minimum of 3 feet outside the proposed footprint. Check the subgrade of the building pad using a proof-roll or other suitable means. This is especially important for the outboard (west) side of the building pad. Soft areas where deflection of the soils is observed should be excavated to a depth of 1 foot (or deeper where necessary) and replaced with granular fill and re-tested. All footings should be designed for an allowable bearing pressure of 1,500 pounds per square foot (psf) for building column and perimeter foundation loads. If greater loads are anticipated, we will need to evaluate the specific load scenario individually.

If imported granular material is used as aggregate base, it should be placed in lifts of 9 inches and compacted to at least 95 percent of the maximum dry density, as determined by ASTM D1557. Final compaction of the building pad should be checked using a proof-roll or other suitable method.

Where imported granular material is placed over soft-soil subgrades, we recommend a geotextile be placed as a barrier between the subgrade and imported granular material. Installing a geotextile before placing the aggregate base will prevent the downward movement of granular material into the underlying subgrade soil and the upward intrusion of fine-grained material into the aggregate base matrix.

DRAINAGE

Surface and Groundwater

We recommend that all pavement and driveway subgrades be appropriately graded to prevent ponding and to provide positive drainage away from the building.

Wet-Weather/Wet-Soil Conditions

The granular soils at the site are susceptible to disturbance during the wet season. Trafficability or grading operations within the exposed soils may be difficult during or after extended wet periods or when the moisture content of the soils is more than a few percentage points above optimum. Soils disturbed during site-preparation activities, or soft or loose zones identified during probing, should be removed and replaced with compacted structural fill.

Excavation

Subsurface conditions at the project site are generally medium-dense gravel and cobbles with some boulders. Excavations in these soils may be readily accomplished with conventional earthwork equipment; however, caving may occur locally and should be anticipated, particularly below the water table.

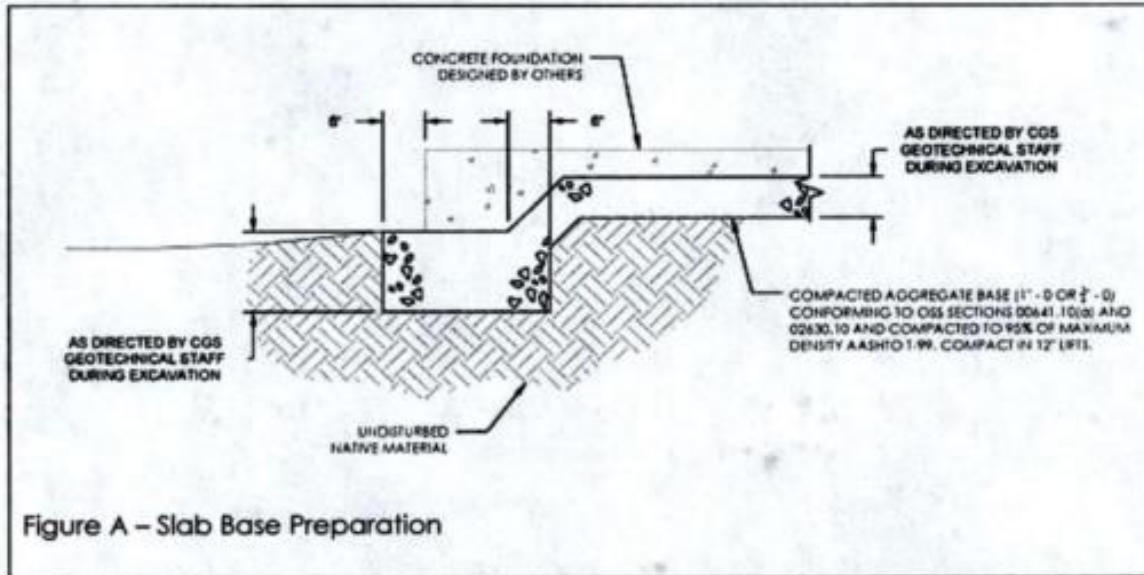
MATERIALS

A wide range of materials may be used as structural fill; however, all materials used should be free of organic matter or other unsuitable materials and should meet the specifications provided in the 2018 Oregon Standard Specifications for Construction, Oregon Department of Transportation (ODOT, SS 2018),⁹ depending on the application. A brief characterization of some of the acceptable materials and our recommendations for their use as structural fill are provided below.

Native Soils

The surficial soils are suitable for use as landscape fill and to backfill around the structure. Material with excessive organics and other deleterious materials should not be used.

Placement



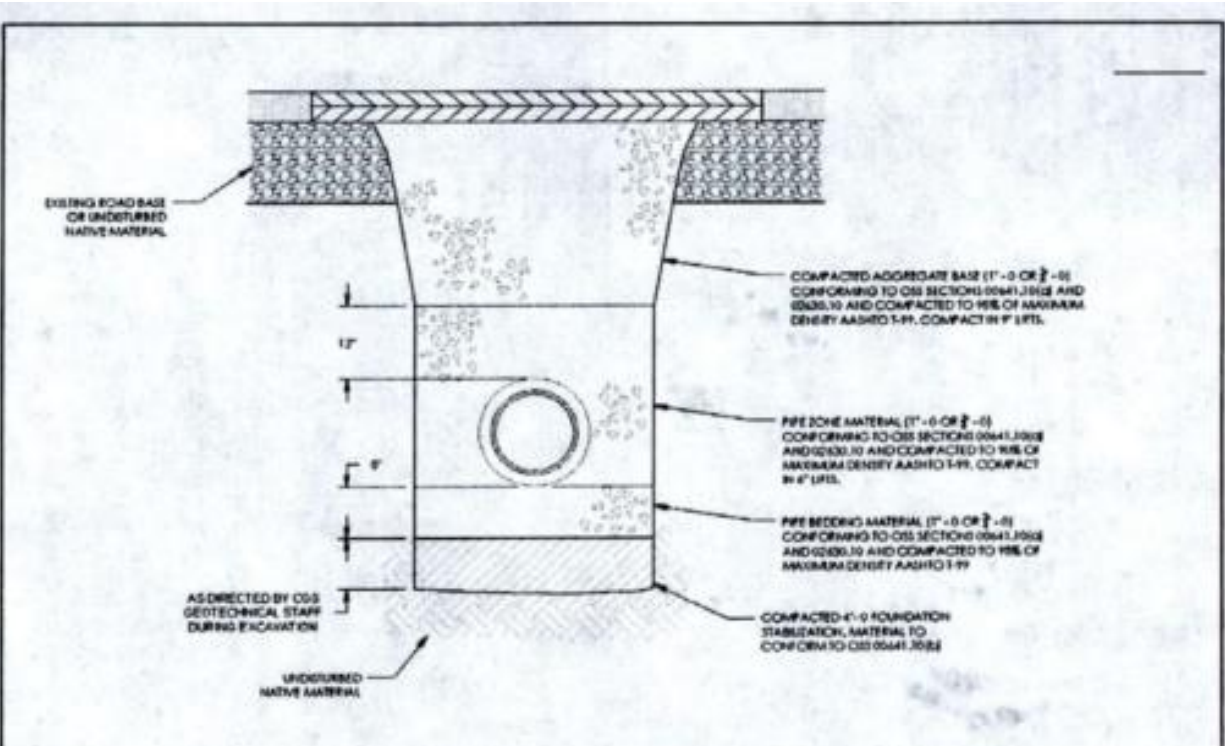


Figure B – Trench in ROW, Under Structure or Pavement, Etc.

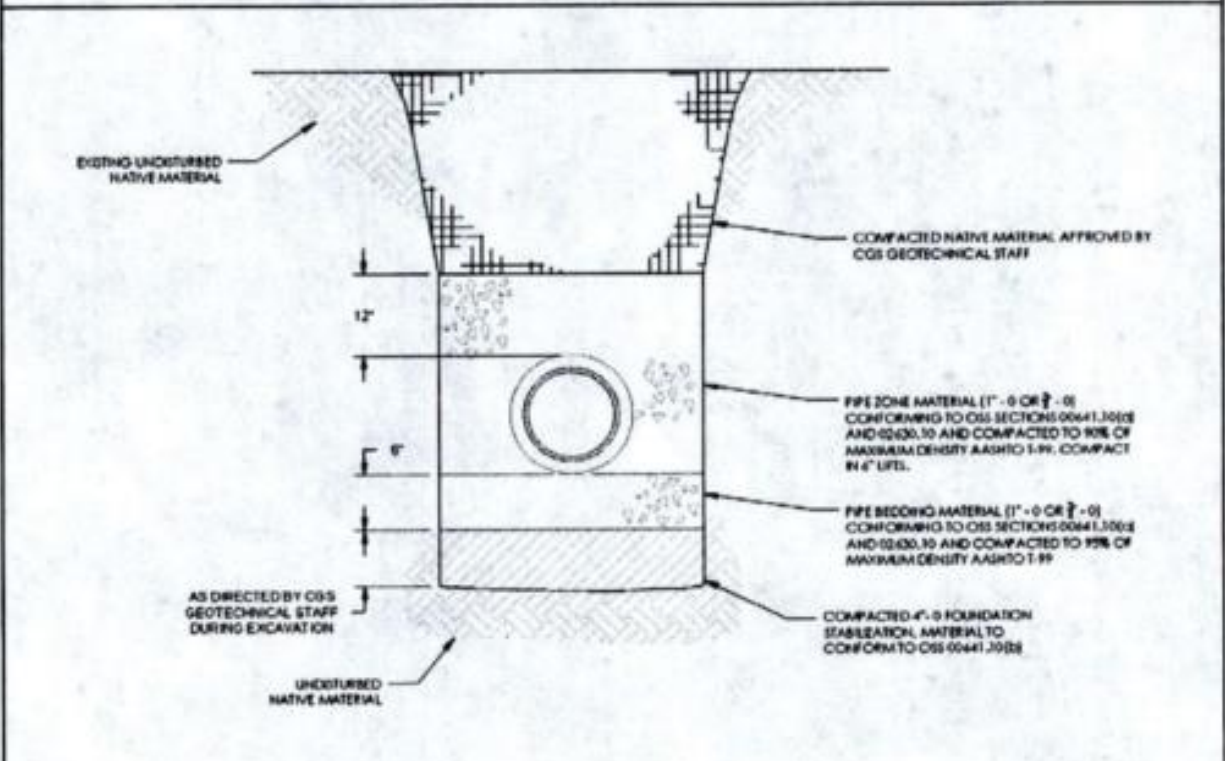


Figure C – Trench Not in ROW, Under Structure or Pavement, Etc.

CONSTRUCTION OBSERVATIONS

Satisfactory pavement and earthwork performance depends on the quality of construction. Sufficient monitoring of the contractor's activities is a key part of determining that the work is completed in accordance with the construction drawings and specifications. We recommend that a representative from CGS be retained to observe general excavation, stripping, fill placement, footing subgrades, and subgrades and base rock for floor slabs and pavements.

Subsurface conditions observed during construction should be compared with those encountered during the subsurface explorations. Recognition of changed conditions requires experience; therefore, qualified personnel should visit the site with sufficient frequency to detect whether subsurface conditions change significantly from those anticipated.

G. DECISION:

The proposed Single Family Dwelling within the Rural Residential Zone meets the requirements of the Coos County Zoning and Land Development Ordinance Special Development Considerations for development within the Beaches and Dunes with Limited Suitability and Natural Hazards, with conditions listed in Exhibit "A" of this report.

H. EXPIRATION:

The conditional use will not expire; however, geological hazard reports are only valid for five years. If the development is not constructed within five years a new geological review will be required.

I. NOTICE REQUIREMENTS:

A notice of decision will be provided to property owners within 250 feet of the subject properties and the following agencies, special districts, or parties

A Notice of Decision and Staff Report will be provided to the following:
Applicants/Owners, Department of Land Conservation and Development, Planning Commission and Board of Commissioners.

Adjacent property owners will receive a Notice of Decision and maps but all other attachments can be found by contacting the Planning Department or visiting the website. If not found on the website the public may contact the department to view the official record.

EXHIBIT "D"
Application & Geotechnical
Reports

LAND USE PERMIT APPLICATION – BALANCE OF COUNTY
 COOS COUNTY PLANNING DEPARTMENT

COMPLETED BY STAFF	
Received By: <u>MB</u>	<input type="checkbox"/> COMP PLAN AMENDMENT
Date Submitted: <u>4/12/20</u>	<input type="checkbox"/> ZONE CHANGE
Application No.: <u>ACU 20-014</u>	<input type="checkbox"/> TEXT AMENDMENT
Fee: <u>1480⁰⁰</u>	CONDITIONAL USE REVIEW
Fee Paid: <u>4/12/20-ck 1480</u>	<input type="checkbox"/> HEARINGS BODY
Receipt No.: <u>219283</u>	<input type="checkbox"/> ADMINISTRATIVE
	<input type="checkbox"/> VARIANCE
	<input type="checkbox"/> LAND DIVISION *
	<input type="checkbox"/> HAZARD REVIEW *
	<input type="checkbox"/> FARM OR FOREST REVIEW *
	<input type="checkbox"/> FAMILY/MEDICAL HARDSHIP*
	<input type="checkbox"/> HOME OCCUPATION/COTTAGE INDUSTRY
	*Supplemental Application required
	STAFF NOTES:

Please type or clearly print all of the requested information below. Please be sure to include any supplemental application for if required.

I. APPLICANT

Name: Scott Hoefs
 Mailing Address:
 67398 North Bay Road
 City State Zip
 North Bend OR 97459
 Daytime Phone
 541-756-5382
 Email: karlspagler1@gmail.com

II. OWNER(S)

Name:
 Scott and Aimee Hoefs
 Mailing Address:
 67398 North Bay Road
 City State Zip
 North Bend OR 97459
 Daytime Phone
 541-756-5382
 Email:
 karlspagler1@gmail.com

III. PROPERTY - If multiple properties are part of this review please check here and attached a separate sheet with property information.

Location or Address:
 67398 North Bay Road, North Bend
 No. Acreage
 5

Tax Acct. R179012

Township: Range: Section: ¼ Section: 1/16 Section: Tax lot:
 T24S 13W 24 SE 1/4 NW1/4 302

Zone:
 RR-5
 Sewage Disposal Type:
 Septic
 School District:
 North Bend

Water Service Type:
 Communal
 Fire District:
 North Bay

IV. REQUEST SUMMARY (Example: "To establish a template dwelling in the Forest Zoning District.")

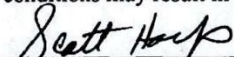
V. ATTACHED WRITTEN STATEMENT. With all land use applications, the "burden of proof" is on the applicant. It is important that you provide information that clearly describes the nature of the request and indicates how the proposal complies with all of the applicable criteria within the Coos County Zoning and Land Development Ordinance (CCZLDO). You must address each of the Ordinance criteria on a point-by-point basis in order for this application to be deemed complete. A planner will explain which sections of the Ordinance pertain to your specific request. The information described below is required at the time you submit your application. The processing of your application does not begin until the application is determined to be complete. An incomplete application will postpone the decision, or may result in denial of the request. Please mark the items below to ensure your submittal is complete.


Application Check List: Please make off all steps as you complete them.

- A. A written statement of intent, attached to this application, with necessary supporting evidence which fully and factually describes the following:
1. A complete explanation of how the request complies with the applicable provisions and criteria in the Zoning Ordinance. A planner will explain which sections of the Ordinance pertain to your specific request. You must address each of the Ordinance criteria on a point-by-point basis in order for this application to be deemed complete.
 2. A description of the property in question, including, but not limited to the following: size, vegetation, crops grown, access, existing buildings, topography, etc.
 3. A complete description of the request, including any new structures proposed.
 4. If applicable, documentation from sewer and water district showing availability for connection.
- B. A plot plan (map) of the property. Please indicate the following on your plot plan:
1. Location of all existing and proposed buildings and structures
 2. Existing County Road, public right-of-way or other means of legal access
 3. Location of any existing septic systems and designated repair areas
 4. Limits of 100-year floodplain elevation (if applicable)
 5. Vegetation on the property
 6. Location of any outstanding physical features
 7. Location and description (paved, gravel, etc.) of vehicular access to the dwelling location
- C. A copy of the current deed, including the legal description, of the subject property. Copies may be obtained at the Coos County Clerk's Office.

I certify that this application and its related documents are accurate to the best of my knowledge. I am aware that there is an appeal period following the date of the Planning Director's decision on this land use action. I understand that the signature on this application authorizes representatives of the Coos County Planning Department to enter upon the subject property to gather information pertinent to this request. If the application is signed by an agent, the owner's written authorization must be attached.

If this application is refereed directly to a hearings officer or hearings body I understand that I am obligated to pay the additional fees incurred as part of the conditions of approval. I understand that I/we are not acting on the county's behalf and any fee that is a result of complying with any conditions of approval is the applicants/property owner responsibility. I understand that conditions of approval are required to be complied with at all time and an violation of such conditions may result in a revocation of this permit.


Applicant/Owner Signature


Applicant/Owner Signature

A. Written statement of intent:

We plan to build a garage/ shop on our property. I have drawn out a plot map of our property and believe I have all the information included as required. See attached. We plan to construct a 30x36 cement floor stick framed building with a comp roof. The building will have electrical installed eventually. We will not have any other utilities to the building (water, septic). There is an existing rocky drive to the building site. As shown on the plat map. Our property is located on Haynes inlet and I have indicated the tidal boundary on my plat, as is shown on the original house construction plat. We do not have a well on the property but are part of Heritage Hills Homeowners Association and receive our water from a communal water system located on community property. Distances as shown on the plat are approximate and most likely not to scale. I was told that a GeoTechnical report would be required. I have obtained such report and it is attached for reference.

1. Our property is designated as RR-5 and the detached garage will be used to supplement the existing attached garage.
2. Our property is 5 acres in size. The acreage currently has a 1600 sq ft house with attached 3 car garage and a 12x16 shed. The property is gently sloped to the south and is covered by trees except for the existing structures and proposed building site. Access to the property is existing off North Bay Road. See attached plot map.
3. We plan to construct a 30x36 cement floor stick framed building with a comp roof. The building will have electrical installed eventually. We will not have any other utilities to the building (water, septic).
4. No sewer or water will be installed in the proposed building.

B. Plot Map attached

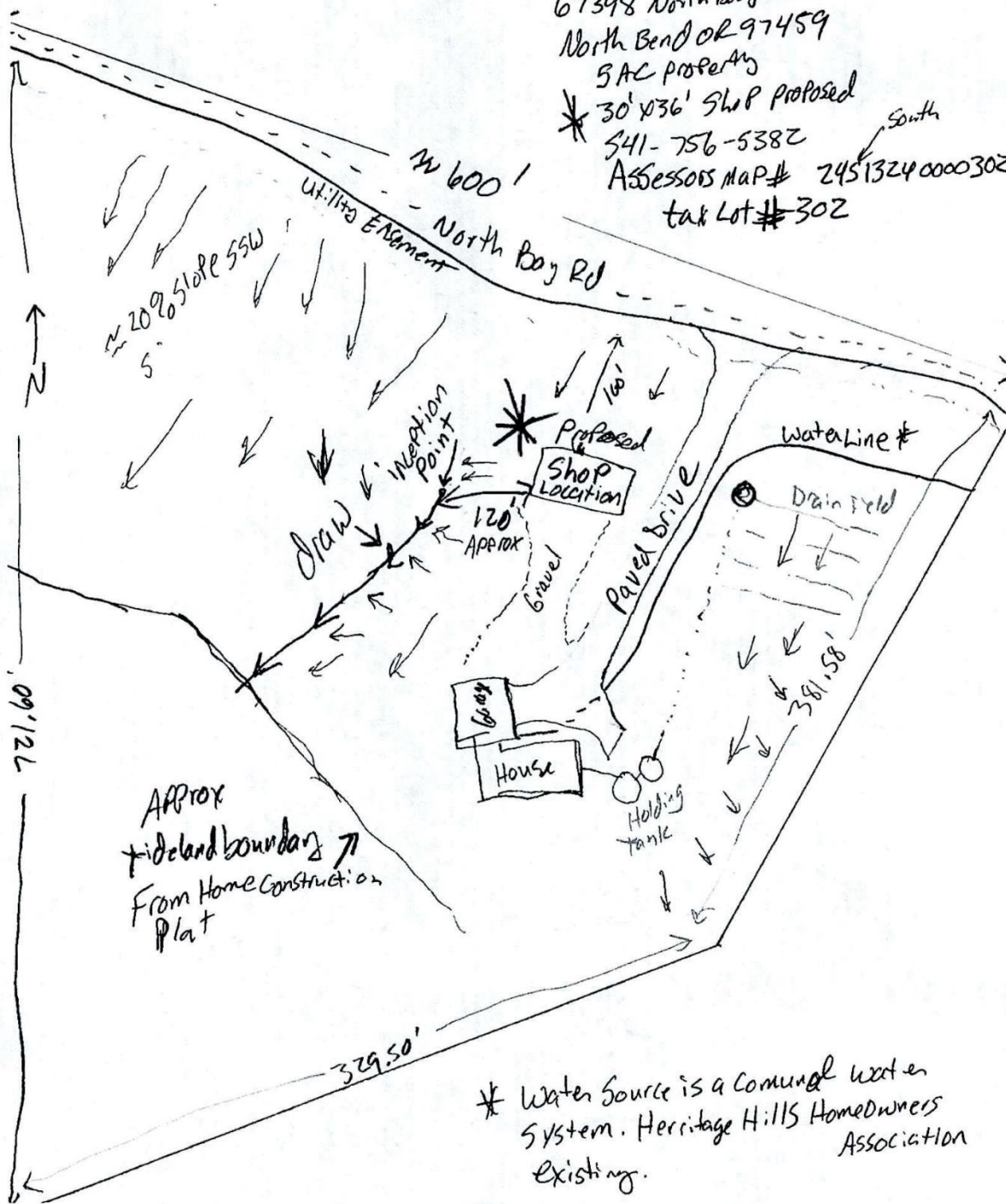
1. existing buildings and proposed
2. existing county roads.
3. Septic and repair areas
4. 100 yr flood plain. House is not in flood plain, proposed building is higher in elevation.
5. Vegetation described
6. Outstanding features shown

Thank you for your consideration. Please let me know if you need anything else.

Scott

1 1/2" = 100' APPROX

Scott Hoefs
67398 North Bay Rd
North Bend OR 97459
5 AC PROPERTY
* 30' x 36' SHOP Proposed
541-756-5382
Assessors MAP# 24513240000302
tax Lot # 302



* Water Source is a Communal water system. Heritage Hills Homeowners Association Existing.

After Recording Return To:
Key Title Company
215 Curtis Ave.
PO Box 355
Coos Bay OR 974200037

Send Tax Statements To:
Scott W Hoefs
Aimee B Hoefs
Po Box 186
North Bend OR 97459



RETURN TO KEY TITLE

Title Order No. 24-85043
Escrow No. 24-85043 - Kf

Tax Account No. T24R13S24 302
1790.12

WARRANTY DEED
(ORS 93.850)

Zeno Vendler, an estate in fee simple, Grantor, conveys and warrants to * Hoefs and Aimee * Hoefs, as tenants by the entirety, Grantee, the following described real property free of encumbrances except as specifically set forth herein:
*Elizabeth
See Exhibit 'A' attached hereto and by reference made a part hereof.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930.

The true consideration for this conveyance is \$190,000.00.

Dated this 11 day of February, 2002

Zeno Vendler

State of OR, County of Coos)ss.

This instrument was acknowledged before me on February 11, 2002
by Zeno Vendler.

Notary Public

My commission expires: 4-14-03



EXHIBIT 'A'Legal Description:

Beginning at a point which bears South 01° 41' 07" West a distance of 33.94 feet from the center quarter corner of Section 24, Township 24 South, Range 13, West of the Willamette Meridian, Coos County, Oregon, said point being on the southerly boundary of the Old Coast Highway, thence along said highway boundary on a curve to the left having a radius of 348.31 feet, through a central angle of 1° 42' 31", whose long chord bears South 70° 39' 22" East a distance of 10.39 feet, thence South 71° 24' 30" East a distance of 32.48 feet, thence along a curve to the right having a radius of 242.84 feet, through a central angle of 24° 42' 45", whose long chord bears South 59° 03' 08" East a distance of 103.93 feet, thence South 46° 41' 45" East a distance of 40.65 feet, thence along a curve to the left having a radius of 470.74 feet, through a central angle of 26° 31' 00" whose long chord bears South 59° 57' 15" East a distance of 215.92 feet, thence South 73° 12' 45" East a distance of 104.68 feet, thence along a curve to the right having a radius of 263.82 feet through a central angle of 30° 40' 45" whose long chord bears South 57° 52' 23" East a distance of 139.58 feet, thence South 42° 32' 00" East a distance of 45.57 feet, thence along a curve to the left having a radius of 323.82 feet, through a central angle of 29° 49' 14" whose long chord bears South 57° 26' 37" East a distance of 166.64 feet, thence South 67° 55' 05" West a distance of 772.38 feet to a point on the West line of the Southeast quarter of Section 24, Township 24 South, Range 13 West, Willamette Meridian, thence North 01° 36' 07" West along said West line a distance of 721.60 feet to the point of beginning.

EXCEPTING: Beginning at a point of the South boundary of the Old Coast Highway said point being 1,013.62 feet North and 486.98 feet East of the 1/16th corner between the Southeast quarter and the Southwest quarter of Section 24, Township 24 South, Range 13 West of the Willamette Meridian, Coos County, Oregon; thence South 31° 09' 10" West a distance of 381.50 feet; thence North 67° 55' 05" East a distance of 442.88 feet to a point on the South boundary of the Old Coast Highway; thence in a Northwesterly direction along the South boundary of said highway a distance of 269 feet more or less to the point of beginning.

Subject to:

The rights of the public in and to that portion of the premises herein described lying within the limits of public roads, streets and highways.

An Easement created by instrument, including the terms and provisions thereof,

In favor of: Central Lincoln People's Utility District
 For: Electric Utility Lines
 Recorded: September 2, 1970
 Microfilm No.: 70-9-51440
 in Coos County, Oregon.

Covenants, conditions and restrictions, but omitting covenant or restriction based on race, color, religion, sex, handicap, familial status or national origin, unless and only to the extent that said covenant (A) is exempt under Chapter 42, Section 3607 of the United States code or (B) relates to handicap but does not discriminate against handicapped persons, imposed by instrument, including the terms and provisions thereof,

Recorded: January 17, 1986
 Microfilm No: 86-1-0723
 in Coos County, Oregon.

Regulations, including levies, liens, assessments, rights of way and easements of Heritage Hills Homeowners Association Street and Water Improvement District, as disclosed by instrument recorded January 17, 1986 as Microfilm No. 86-1-0723, deed records of Coos County, Oregon.

Page 2

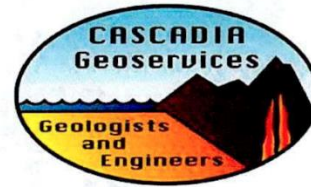
COOS COUNTY, OREGON
 TERRI TURI, CMC, COUNTY CLERK

REC \$31.00

02/13/2002 #2002-1897
 01:36:42PM 2 OF 2

Cascadia Geoservices, Inc.

190 6th Street
PO Box 1026
Port Orford, Oregon 97465
D. 541-332-0433
C. 541-655-0021
Email: info@CascadiaGeoservices.com
www: CascadiaGeoservices.com



May 21, 2020

Mr. Scott Hoefs
67398 North Bay Road
North Bend, Oregon 97459
Email: karlspagler1@gmail.com

Reconnaissance Level Geological Site Evaluation Report

67398 North Bay Road
North Bend, Oregon 97459
CGS Project No. 20042

Dear Mr. Hoefs,

Cascadia Geoservices, Inc. (CGS) is pleased to provide you with this Reconnaissance Level Geological Site Evaluation Report for a portion of your property located on North Bay Road in North Bend, Oregon (site or subject property) (see Figure 1, Location Map). Our understanding is based on our correspondence with you beginning on April 1, 2020, at which time you provided us with a site plan submitted by you to Coos County as part of the permitting process, and on an email to you from Coos County, dated March 30, 2020. Our understanding is further based on a site visit on April 6, 2020. We understand that you are proposing to build a 30-by-36-foot, wood-framed shop structure supported on a cement floor. Based on the Coos County Zoning and Hazard Map,¹ the site is in an area where the soils have a high liquefaction potential. Because of this, Coos County is requiring that, prior to issuing you a building permit, you obtain a geotechnical site evaluation from a licensed engineering geologist. We further understand that the shop will be used for storage and will not be used as a residence. As of the date of this project, no construction drawings have been submitted to CGS for review. This report summarizes our project understanding and site investigation, including subsurface

¹ Viewed online at <http://www.co.coos.or.us>

explorations, and provides our conclusions and recommendations for developing the site.

SURFACE DESCRIPTION

The site (see Figure 2, Site Map) is a level cut pad and measures 23 feet wide (measured east to west) by 45 feet long (measured north to south). It is located 70 feet north of your residence and at the same elevation of 35 feet above mean sea level (AMSL). The cut pad is bordered to the north and east by partially graded slopes. North of the site, the slope ranges in inclination from 35 to 60% and is traversed by an older cat cut and by North Bay Road which is 90 feet above the site. The slope to the east grades 36% to the south and provides the access driveway to the site. The site is bordered on the west by a moderate slope which descends at a grade of 60%, for a distance of 10 to 15 feet. This slope is the upper part of an unnamed, south-flowing seasonal drainage swale which is a tributary to Palouse Creek and Haynes Inlet. There was no observed flow within the drainage at the time of our site visit in April. Based on aerial photographs, the drainage swale is tidally influenced 220 feet west of the site.

Based on mapping done by others,^{2,3} soils at the site are classified as silty clay loam (26D—Geisel silt loam, 12 to 30 percent slopes). These soils are described as well drained and are derived from colluvium and weathered sedimentary rock. These overlie bedrock of the Eocene Flournoy Formation which consists of rhythmically bedded sandstone and siltstone.

Outcrop exposed at the toe of the slope both north and east of the proposed shop building (Photo 1) exposes medium-stiff-to-stiff (0.5 to 1.5 tsf⁴) clayey silts. Based on mapping done by others,³ we infer that these soils are decomposed bedrock siltstone. The siltstone maintains a near-vertical cut slope with only minor sloughing (Photo 2). Decomposition of sedimentary layers prohibits determination of the orientation of the bedding.

² United States Department of Agriculture (USDA). Natural Resource Conservation Service Web Soil Survey. Viewed at <http://websoilsurvey.nrcs.usda.gov>

³ Beaulieu, J. D., and Hughes, P. W., 1976. Land-Use Geology of Western Curry County, Oregon: Oregon Department of Geology and Mineral Industries, Bull. 90, p. 148.

⁴ Tons per square foot compressive strength as determined with a pocket penetrometer

Based on our review of water-well cards for wells in the area, the primary aquifer is over 100 feet deep. The site appears well drained with no springs, seeps, or hydric plants observed.

Based on our site visit, the site appeared stable with no visible sloughing, ground cracks, fresh earthen scarps, or areas of settlement observed. Further, the site appeared well drained.

GEOLOGIC HAZARDS

Liquefaction

Liquefaction potential was assessed based on the information obtained from our site visit and using the parameters suggested in Youd & Andrus, et al., 2001.⁵ According to seismic data, the site will experience a peak ground acceleration (PGA) during a local Cascadia Subduction earthquake of .774 g. Well logs for the area indicate that groundwater is over 100 feet below ground surface (bgs). Based on the depth of groundwater and the consistency of the cohesive soils exposed in outcrop, it is our opinion that the soils encountered on the site have a low-to-moderate liquefaction potential.

A review of the State Landslide Inventory Database (Oregon HazVu)⁶ indicates that there are no identified landslides, earthflows, or debris flows which impact the subject property.

A review of LIDAR mapping for the area (a surveying technology that measures distance by measuring the amount of time it takes for light to travel from a light-emitting source to an object and back to a sensor) indicates that the site is a level bench located on a northeast-southwest-aligned spur ridge within the Palouse Creek drainage. Based on our review, there are no obvious anomalous landforms associated with geologic hazards visible on the site.

There is now a consensus among earth scientists that much of the western US coastline, including the entire southern Oregon coast, is in an area which has been seismically active in the recent geologic past. In order to protect people living in seismically active

⁵ Youd, T. L., Andrus, I. M., et al., 2001. Resistance of Soils: Summary Report from the 1996 NCEER and 1998 NCEER/NSF Workshops on Evaluation of Liquefaction Resistance of Soils. ASCE, Journal of Geotechnical and Geoenvironmental Engineering, v. 127, No. 10, pp. 817-833.
⁶ (HazVu). Oregon Department of Geology and Mineral Industries (DOGAMI) Statewide Geohazards Viewer. Viewed at <https://www.oregongeology.org>

areas within the state, the State has recently updated its Oregon Structural Specialty Code⁷ (OSSC 2019). It is our opinion that new structures such as you are proposing for this site should adopt, where applicable, these updated standards.

Tsunamis

Based on recent mapping and modeling done by the State of Oregon,⁸ the site is not within the Tsunami Inundation Zone. Tsunamis may however impact regional low-lying areas and access roads to the site. As such, we recommend that you check local resources and the State of Oregon's Department of Geology and Mineral Industries (DOGAMI) Tsunami Resource Center for current information regarding tsunami preparedness and emergency procedures.

DISCUSSION AND RECOMMENDATIONS

Feasibility

It is our opinion that the site is stable and thus suitable for siting the proposed shop, provided it is prepared in accordance with our recommendations.

As discussed, based on the consistency of the soils encountered at the site and the inferred depth to groundwater, it is our opinion that soils on the site have a low-to-moderate liquefaction potential and, as such, do not pose a serious liquefaction hazard.

The slopes both north and east of the building pad are currently stable and, as such, should not be steepened. Minor excavation at the toe of the slope can be done, provided it does not exceed a 4-foot-high vertical cut. We recommend a minimum setback of 10 feet from the toe of the ascending slope north of the building site, and a 5-foot setback from the toe of the slope to the east of the site. In addition, we recommend a minimum setback of 10 feet from the break-in-slope of the descending slope west of the site.

The existing cat cut, which traverses the slope north of the site, should be graded to create a water diversion terrace. Runoff should be directed away from the slope above

⁷ Oregon Structural Specialty Code, 2019, State of Oregon, viewed at www.oregon.gov

⁸ Local Source (Cascadia Subduction Zone) Tsunami Inundation Map, Haynes Inlet, Coos County, Oregon, 2012, State of Oregon Department of Geology and Mineral Industries, viewed at <http://www.oregongeology.org>

the building pad. In addition, the building pad should be graded to provide positive drainage away from the structure.

We believe the existing cut subgrade is suitable to site the shop building. Prior to construction, remove the upper 3 to 4 inches of sod, organics, and loose surface debris from the building footprint and for a minimum of 3 feet outside the proposed footprint. Check the subgrade of the building pad using a proof-roll or other suitable means. This is especially important for the outboard (west) side of the building pad. Soft areas where deflection of the soils is observed should be excavated to a depth of 1 foot (or deeper where necessary) and replaced with granular fill and re-tested. All footings should be designed for an allowable bearing pressure of 1,500 pounds per square foot (psf) for building column and perimeter foundation loads. If greater loads are anticipated, we will need to evaluate the specific load scenario individually.

If imported granular material is used as aggregate base, it should be placed in lifts of 9 inches and compacted to at least 95 percent of the maximum dry density, as determined by ASTM D1557. Final compaction of the building pad should be checked using a proof-roll or other suitable method.

Where imported granular material is placed over soft-soil subgrades, we recommend a geotextile be placed as a barrier between the subgrade and imported granular material. Installing a geotextile before placing the aggregate base will prevent the downward movement of granular material into the underlying subgrade soil and the upward intrusion of fine-grained material into the aggregate base matrix.

DRAINAGE

Surface and Groundwater

We recommend that all pavement and driveway subgrades be appropriately graded to prevent ponding and to provide positive drainage away from the building.

Wet-Weather/Wet-Soil Conditions

The granular soils at the site are susceptible to disturbance during the wet season. Trafficability or grading operations within the exposed soils may be difficult during or after extended wet periods or when the moisture content of the soils is more than a few percentage points above optimum. Soils disturbed during site-preparation activities, or soft or loose zones identified during probing, should be removed and replaced with compacted structural fill.

Excavation

Subsurface conditions at the project site are generally medium-dense gravel and cobbles with some boulders. Excavations in these soils may be readily accomplished with conventional earthwork equipment; however, caving may occur locally and should be anticipated, particularly below the water table.

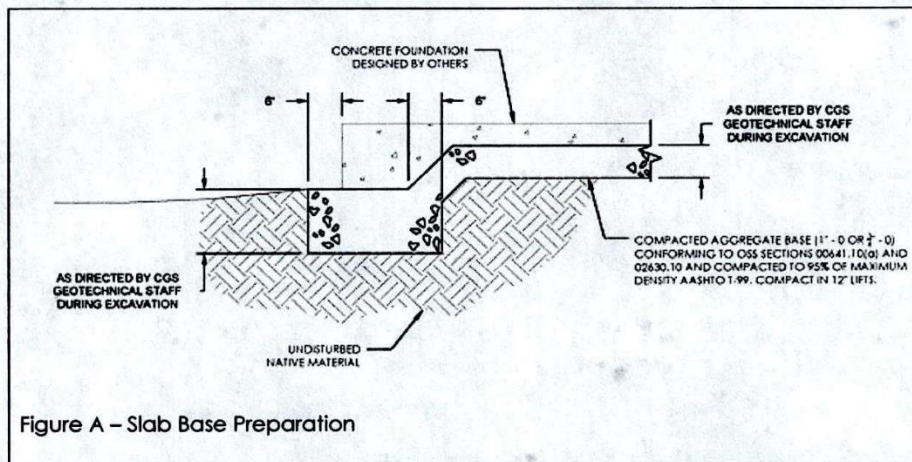
MATERIALS

A wide range of materials may be used as structural fill; however, all materials used should be free of organic matter or other unsuitable materials and should meet the specifications provided in the 2018 Oregon Standard Specifications for Construction, Oregon Department of Transportation (ODOT, SS 2018),⁹ depending on the application. A brief characterization of some of the acceptable materials and our recommendations for their use as structural fill are provided below.

Native Soils

The surficial soils are suitable for use as landscape fill and to backfill around the structure. Material with excessive organics and other deleterious materials should not be used.

Placement



⁹ http://www.oregon.gov/ODOT/Business/Documents/2018_STANDARD_SPECIFICATIONS.pdf

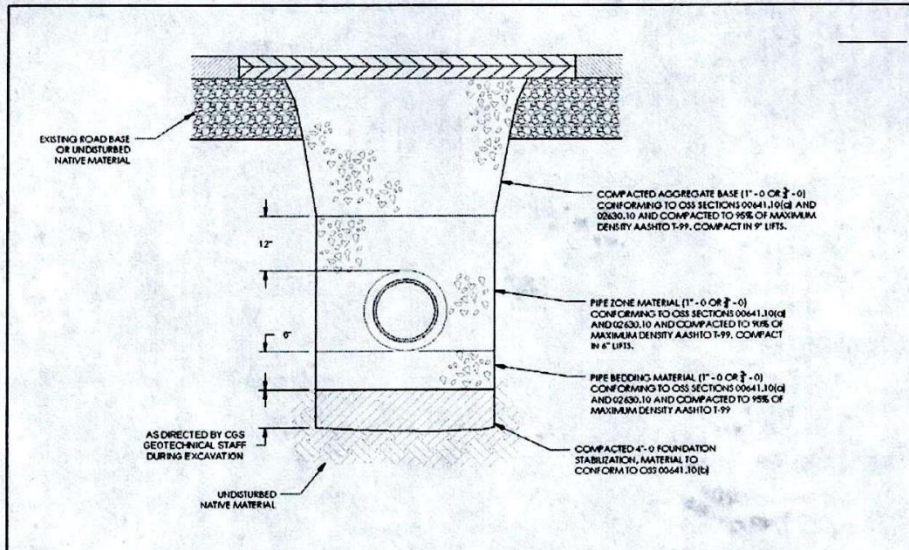


Figure B – Trench in ROW, Under Structure or Pavement, Etc.

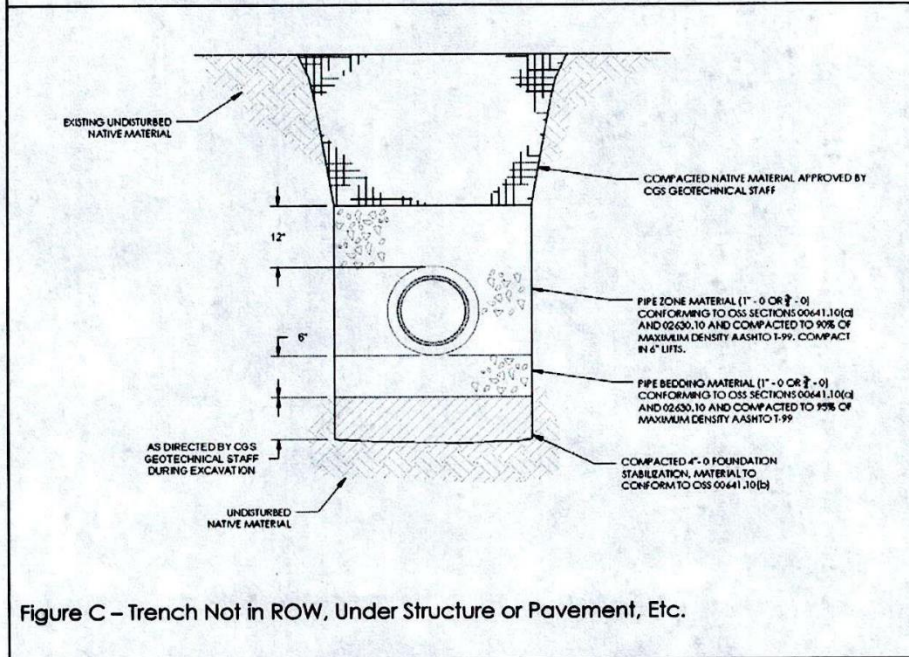


Figure C – Trench Not in ROW, Under Structure or Pavement, Etc.

BUILDING CODES

There is now a consensus among earth scientists that much of the western US coastline, including the entire southern Oregon coast, is in an area which has been seismically active in the recent geologic past. Our understanding of these forces is evolving and has been heightened by witnessing recent earthquakes and tsunamis in similar tectonic settings in northern Indonesia (2005) and in northern Japan (2011). In order to protect people living in seismically active areas within the state, the State has recently updated and released the 2017 Oregon Residential Specialty Code.¹⁰ It is our opinion that new structures should adopt these updated standards.

CONSTRUCTION OBSERVATIONS

Satisfactory pavement and earthwork performance depends on the quality of construction. Sufficient monitoring of the contractor's activities is a key part of determining that the work is completed in accordance with the construction drawings and specifications. We recommend that a representative from CGS be retained to observe general excavation, stripping, fill placement, footing subgrades, and subgrades and base rock for floor slabs and pavements.

Subsurface conditions observed during construction should be compared with those encountered during the subsurface explorations. Recognition of changed conditions requires experience; therefore, qualified personnel should visit the site with sufficient frequency to detect whether subsurface conditions change significantly from those anticipated.

LIMITATIONS

Cascadia Geoservices, Inc.'s (CGS) professional services are performed, findings obtained, and recommendations prepared in accordance with generally accepted principles and practices for engineering geologists. No other warranty, express or implied, is made. The Customer acknowledges and agrees that:

¹⁰ Oregon Residential Specialty Code, 2017, state of Oregon, viewed at <https://oregonhba.com/2017-oregon-residential-specialty-code-now-available/>

1. CGS is not responsible for the conclusions, opinions, or recommendations made by others based upon our findings.
2. This report has been prepared for the exclusive use of the addressee, and their agents, and is intended for their use only. It is not to be photographed, photocopied, or similarly reproduced, in total or in part, without the expressed written consent of the Customer and Cascadia Geoservices, Inc.
3. The opinions, comments, and conclusions presented in this report are based upon information derived from our literature review, historical topographic map and aerial photograph review, and on our site observations. The scope of our services is intended to evaluate soil and groundwater (ground) conditions within the primary influence or influencing the proposed development area. Our services do not include an evaluation of potential ground conditions beyond the depth of our explorations or agreed-upon scope of our work. Conditions between or beyond our site observations may vary from those encountered.
4. Recommendations provided herein are based in part upon project information provided to CGS. If the project information is incorrect or if additional information becomes available, the correct or additional information should be immediately conveyed to CGS for review.
5. The scope of services for this subsurface exploration and report did not include environmental assessments or evaluations regarding the presence or absence of wetlands or hazardous substances in the soil, surface water, or groundwater at this site.
6. If there is a substantial lapse of time between the submission of this report and the start of work at the site, if conditions have changed due to natural causes or construction operations at or adjacent to the site, or if the basic project scheme is significantly modified from that assumed, this report should be reviewed to determine the applicability of the conclusions and recommendations. Land use, site conditions (both on and off site), or other factors may change over time and could materially affect our findings. Therefore, this report should not be relied upon after two years from its issue, or in the event that the site conditions change.
7. The work performed by the Consultant is not warranted or guaranteed.
8. There is an assumed risk when building on marginal ground, sites subject to flooding, or adjacent to bluffs, sea cliffs, or on steep ground.

9. The Consultant's work will be performed to the standards of the engineering and geology professions and will be supervised by licensed professionals. Attempts at improving marginal ground, sites subject to flooding, or adjacent to bluffs, sea cliffs, or on steep ground supporting the Customer's property may, through acts of God or otherwise, be temporary and that marginal ground, sites subject to flooding, or adjacent to bluffs, sea cliffs, or on steep ground may continue to degrade over time. The Customer hereby waives any claim that they may have against CGS for any claim, whether based on personal injury, property damage, economic loss, or otherwise, for any work performed by CGS for the Customer relating to or arising out of attempts to stabilize the marginal ground, sites subject to flooding, or bluffs, sea cliffs, or steep ground located at the Customer's property identified hereunder. It is further understood and agreed that continual monitoring of the Customer's property may be required, and that such monitoring is done by sophisticated monitoring instruments used by CGS. It is further understood and agreed that repairs may require regular and periodic maintenance by the Customer.
10. The Customer shall indemnify, defend, at the Customer's sole expense, and hold harmless CGS, affiliated companies of CGS, its partners, joint ventures, representatives, members, designees, officers, directors, shareholders, employees, agents, successors, and assigns (Indemnified Parties) from and against any and all claims for bodily injury or death, damage to property, demands, damages, and expenses (including but not limited to investigative and repair costs, attorney's fees and costs, and consultant's fees and costs) (hereinafter "Claims") which arise or are in any way connected with the work performed, materials furnished, or services provided under this Agreement by CGS or its agents.

PROFESSIONAL QUALIFICATIONS

To review our professional qualifications, please visit our website at
www.CascadiaGeoservices.com.

Sincerely,

Cascadia Geoservices, Inc.

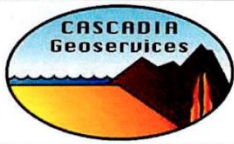


Eric Oberbeck, CEG
Expires June 1, 2021

PHOTOS

FIGURES

Figure 1, Location Map
Figure 2, Site Map



67398 North Bay Road
North Bend, Oregon 97459

Photographic Log

Date: May, 2020

Cascadia Geoservices, Inc.
Project No: 20042

Photo No:	1
Direction Photo is Taken:	East
Photo Description:	
	Outcrop exposed at the toe of the slope exposes medium-stiff-to-stiff clayey silts.



Photo No:	2
Direction Photo is Taken:	North
Photo Description:	
	The siltstone maintains a near-vertical cut slope with only minor sloughing

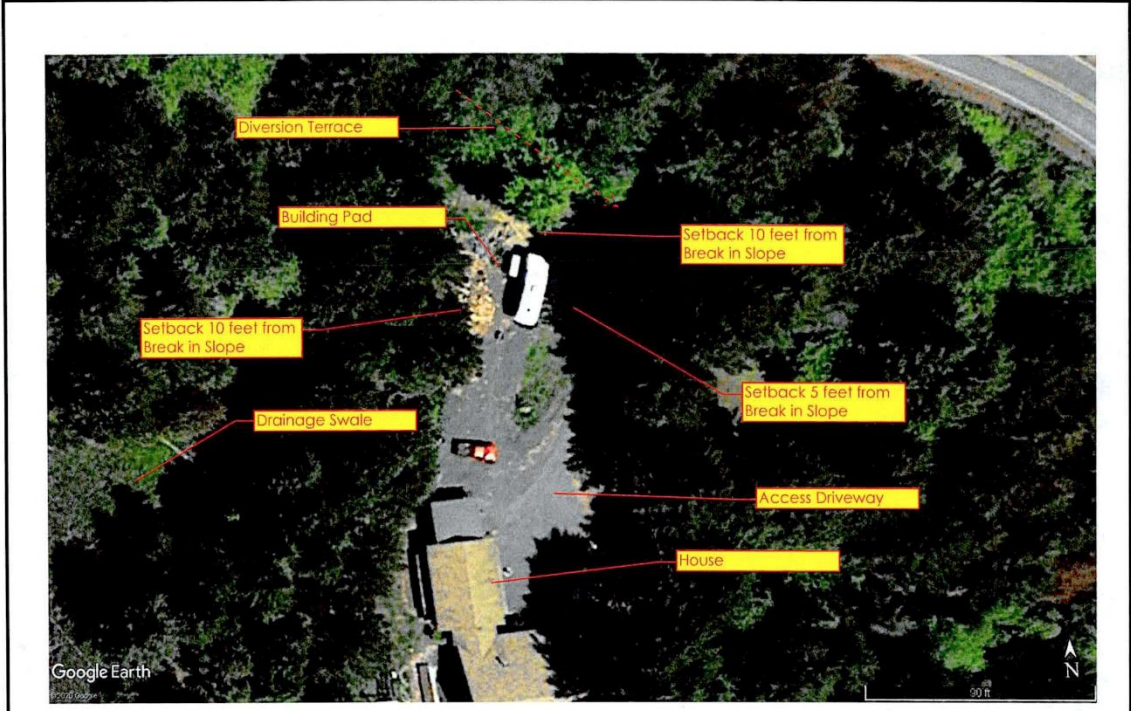




Project: 20042
 May, 2020

Location Map
 67398 North Bay Road
 North Bend, Oregon 97459

**Figure
 1**



Prepared for Mr. Scott Hoefst

	Project: 20042	Site Map 67398 North Bay Road North Bend, Oregon 97459	Figure 2
	May, 2020		

Michelle Berglund

From: Scott Hoefs [karlspagler1@gmail.com]
Sent: Thursday, June 04, 2020 2:56 PM
To: Crystal Orr
Cc: Planning Department
Subject: Re: Zoning Compliance Letter
Attachments: Hoefs Land use permit application.pdf

This Message originated outside your organization.

Good Day Planning Department.

I have attached a Land Use Permit application for a proposed garage on my property. I believe I have attached all the required documents. Please let me know if I am missing anything. Additionally, I will need to submit payment. Please let me know how to remit payment for the conditional use permit.

Thank you for your time,

Scott Hoefs

On Wed, Apr 15, 2020 at 4:19 PM Crystal Orr <corr@co.coos.or.us> wrote:

The geotech will need to be submitted with the land use permit.

From: Scott Hoefs <karlspagler1@gmail.com>
Sent: Wednesday, April 15, 2020 3:27 PM
To: Crystal Orr
Cc: Planning Department
Subject: Re: Zoning Compliance Letter

This Message originated outside your organization.

Hi Planning Department,

I am working on obtaining a GEOTECH report. Can I proceed with submitting the attached land use permit to get the process going or do I need to wait until I have the GEO report in hand?

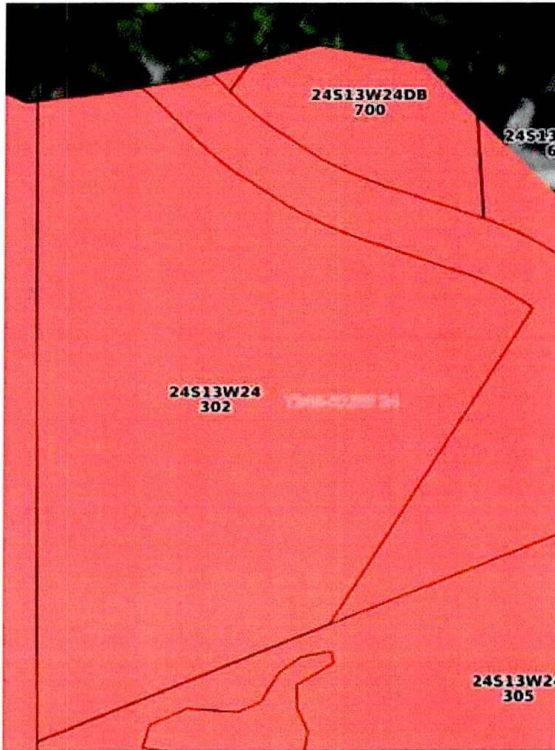
thanks for your help,

Scott

On Mon, Mar 30, 2020 at 9:18 AM Crystal Orr <corr@co.coos.or.us> wrote:

Scott,

Your request will require a geotechnical report from a licensed engineering geologist along with a Conditional Use Application \$1480.00. The property is within the Very High Liquefaction. You can find an engineering geologist by googling "engineering geologist Coos County".



Crystal Orr

Planner I

Coos County Planning

225 N Adams, Coquille, OR 97423 (Physical address)

250 N Baxter Coquille, OR 97423 (Mailing Address)

541-396-7770

From: Scott Hoefs [mailto:karlspagler1@gmail.com]

Sent: Saturday, March 28, 2020 11:37 AM

To: Planning Department
Subject: Zoning Compliance Letter

This Message originated outside your organization.

Hi Coos County Planning Staff!

Scott & Aimee Hoefs

67398 North Bay Road

North Bend OR 97459

541-260-0601

Assessors Map #24S13240000302

Tax Lot #302

We plan to build a garage/ shop on our property and are seeking a Zoning Compliance Letter. I have drawn out a plot map of our property and believe I have all the information included as required. See attached.

We plan to construct a 30x36 cement floor stick framed building with a comp roof. The building will have electrical installed eventually. We will not have any other utilities to the building (water, septic). There will be a rocked drive to the building. As shown on the plat map. Our property is located on Haynes inlet and I have indicated the tidal boundary on my plat, as is shown on the original house construction plat. We do not have a well on the property, but are part of Heritage Hills Homeowners Association and receive our water from a communal water system located on community property. Distances as shown on the plat are approximate and most likely not to scale.

Please let me know if you need anything further for me to obtain a ZCL.

Thank you, Scott Hoefs

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